

at

for

NDIS HOUSING

10 RICHARDSON STREET, TAREE, NSW

ARCHEWELL CONSTRUCTION

DOCUMENTATION SCHEDULE

000 SERIES DRAWINGS

2280 CD001 COVER PAGE

100 SERIES DRAWINGS

2280 CD100 DEMOLITION PLAN
2280 CD101 OVERALL SITE PLAN / EXTERNAL WORKS
2280 CD102 OVERALL LAYOUT PLAN
2280 CD103 LAYOUT PLAN
2280 CD104 LAYOUT PLAN
2280 CD107 SETOUT / WALL TYPE PLAN
2280 CD108 SETOUT / WALL TYPE PLAN
2280 CD115 ROOF PLAN
2280 CD116 ROOF PLAN

200 SERIES DRAWINGS

2280 CD201 OVERALL ELEVATIONS
2280 CD202 ELEVATIONS
2280 CD203 ELEVATIONS
2280 CD204 ELEVATIONS
2280 CD205 SECTIONS
2280 CD206 SECTIONS
2280 CD207 PERSPECTIVES



LOCALITY PLAN

1 : 2500



01 PERSPECTIVE VIEW

NOTE: PERSPECTIVE VIEW FOR ILLUSTRATION PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. NOT TO SCALE

ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au		© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD		PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHEWELL CONSTRUCTION TITLE COVER PAGE		DATE JUNE 2023 SCALE A3: NTS DRAWING NO. 2280 - CD001		DRAWN CO CHECKED REVISION A			
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE	ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS													
				BUILDING INFORMATION															
				CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO															



ALL EXISTING BUILDINGS, SLABS, BITUMEN,
FENCING, PLANTING AND STRUCTURES TO BE
REMOVED AND MADE GOOD FOR NEW
DEVELOPMENT.

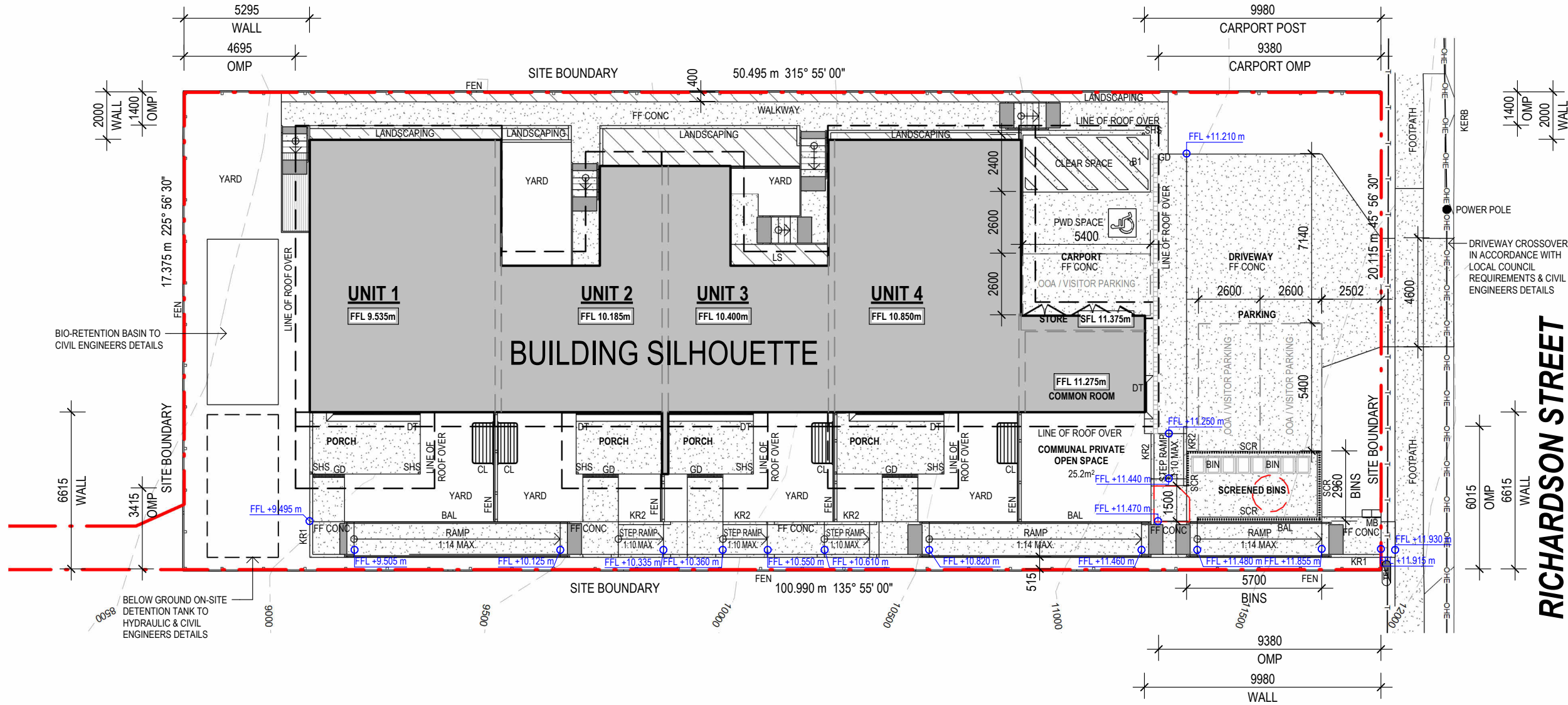
EXISTING SERVICES LOCATIONS SHOWN IN
ACCORDANCE WITH SURVEY DRAWINGS
2976-23

ASBESTOS REMOVAL

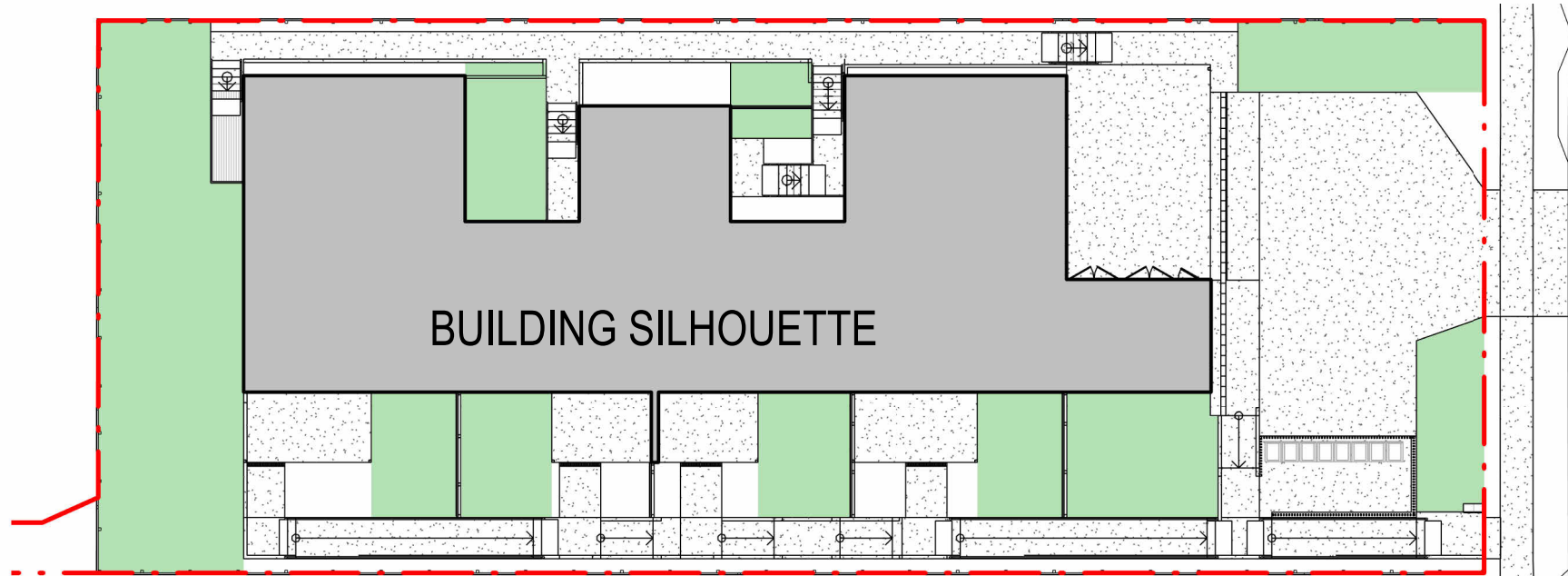
ASBESTOS REMOVAL TO BE CARRIED OUT IN
ACCORDANCE WITH ALL STATUTORY
REQUIREMENTS



DATE		DRAWN
JUNE 2023		JM
SCALE		CHECKED
A3: 1:200		
DRAWING NO.	REVISION	
2280 - CD100	A	



01 OVERALL SITE
1 : 200



02 LANDSCAPING PLAN
CDC COMPLIANT LANDSCAPE AREAS
1 : 250

SITE ANALYSIS

SITE AREA:	1109.04m ²
MAX HEIGHT:	8.5m ALLOWABLE
LANDSCAPING:	349.1m ² (31.5%) PROVIDED
LANDSCAPING MIN 2.5m:	264.7m ² (23.9%) PROVIDED
SITE COVER:	395.55m ² (35.6%)

SITE PLAN SYMBOLS

LB	LETTER BOX AS PER SPECIFICATION
TCL	COMMS PIT
BM	SURVEY BENCH MARK
K	KERB CONNECTOR
SMH	SEWER MANHOLE
○	HOUSE CONNECTION POINT
P	POWER PILLAR
W	WATER CONNECTION
SW	STORMWATER GRATE
LANDSCAPING	LANDSCAPING
E	ELECTRICAL LINE
S	SEWER LINE
SW	STORMWATER LINE
T	COMMUNICATIONS LINE
W	WATERMAIN LINE
+	EXISTING TREE TO BE RETAINED
+	EXISTING TREE TO BE REMOVED

SITE PLAN NOTES

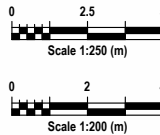
- FOOTPATHS AND PAVED AREAS**
- FALL ALL FOOTPATHS AND PAVED AREAS AWAY FROM BUILDING.
 - REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVEMENT LEVELS.
 - REFER TO EXTERIOR FINISHES SCHEDULE FOR FINISHES SELECTIONS.
- CIVIL / EARTHWORKS / LEVELS**
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL ROADWORK AND CIVIL WORKS.
 - ALL EXTERNAL LEVELS TO BE IN ACCORDANCE WITH CIVIL ENGINEER'S DOCUMENTATION.
 - REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL RETAINING WALL DETAILS.
- LANDSCAPING**
- REFER GENERIC LANDSCAPE SPECIFICATION BY OTHERS.
 - REMOVE ALL EXISTING TREES ON SITE.

UNIT AREAS EXCLUDING PATIO & PORCH

UNIT 1	92.34 m ²
UNIT 2	55.13 m ²
UNIT 3	55.13 m ²
UNIT 4	92.44 m ²

KEYNOTE LEGEND

B1	BOLLARD TYPE 1
BAL	BALUSTRADE
BIN	BIN
CL	CLOTHESLINE
CONC	CONCRETE
DT	DOOR THRESHOLD
FEN	FENCE
GD	GRATED DRAIN
KR1	75mm HIGH CONCRETE KERB RAIL
KR2	450mm HIGH CONCRETE KERB RAIL
MB	MAIL BOXES
SCR	SCREEN
SHS	STEEL POST



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION	GENERAL NOTES	SHUNSHINE COAST	PROJECT	DATE	DRAWN
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	Shunshine Coast Non-Tiki Business Centre Tower 2 Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au www.brdg.com.au ABRN 60 131 465 891 QCCC 1160937	NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE OVERALL SITE PLAN / EXTERNAL WORKS	JUNE 2023 A3: 1:200 DRAWING NO. 2280 - CD101	CO CHECKED REVISION A

AREA SCHEDULE

CARPORT	40.87 m²
COMMON AREA	16.76 m²
STORE	4.40 m²
UNIT 1	81.55 m²
UNIT 1 OOA	10.79 m²
UNIT 1 PORCH	12.23 m²
UNIT 2	43.46 m²
UNIT 2 OOA	11.67 m²
UNIT 2 PORCH	9.75 m²
UNIT 3	43.46 m²
UNIT 3 OOA	11.67 m²
UNIT 3 PORCH	9.75 m²
UNIT 4	80.98 m²
UNIT 4 OOA	11.46 m²
UNIT 4 PORCH	11.96 m²
TOTAL	400.77 m²

FLOOR PLAN NOTES

FLOOR FINISHES TO EXTEND UNDER CABINETRY.

ALL FLOOR FINISHES TO BE SLIP RESISTANT.

PROVIDE ADDITIONAL STUD FRAMING/NOGGINGS TO WALLS WITH TELEVISIONS, OVERHEADS CUPBOARD & GRAB RAILS.

ENSURE SUFFICIENT SUPPORT FOR INSTALLATION OF GRABRAILS TO MEET APPLIED FORCES AS REQUIRED BY AS1428.1 - GRABRAILS IN FULLY ACCESSIBLE (FA) ONLY.

PROVIDE ACOUSTIC INSULATION TO ALL INTERNAL WALLS.

UNLESS STATED OTHERWISE THE DIMENSIONS NOTED IN THE SPECIFICATION CLAUSES OF THE NDIS SDA ARE MINIMUM CLEAR DIMENSION REQUIRED AS MEASURED FROM THE NARROWEST SECTION I.E. SKIRTING TO SKIRTING OR TILED SURFACE TO TILED SURFACES. BUILDER AND ARCHITECT SHALL ALLOW FOR CONSTRUCTION TOLERANCES.

PEDESTRIAN ENTRY FROM THE SITE BOUNDARY .

AN ACCESSWAY SHALL HAVE: NO STEPS, A LEVEL TRANSITION OF SURFACE MATERIALS, A MAXIMUM VERTICAL TOLERANCE OF 3MM OR 5MM BETWEEN ABUTTING SURFACES IS PERMITTED, AS LONG AS THE LIP IS ROUNDED OR BEVELLED, AN EVEN AND FIRM SURFACE, AND A CROSSFALL OF NOT MORE THAN 1:40.

FLOOR PLAN NOTES

- ADJACENT LEVELS TO BE EQUAL LEVEL - NO STEP
- LANDSCAPING

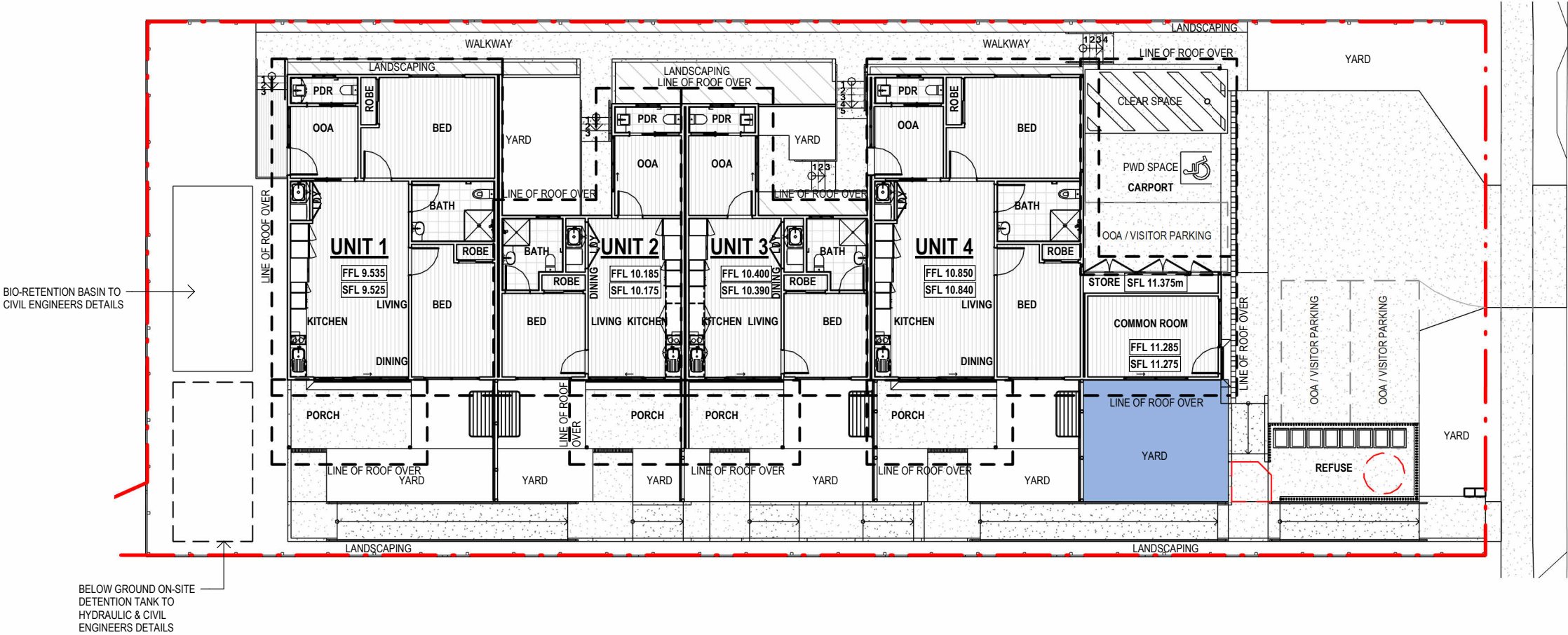
FIRE RATED WALLS

EXTERNAL WALLS REQUIRE AN FRL OF 90/90/90 WHERE LOCATED LESS THAN 1.5m FROM THE ALLOTMENT BOUNDARY OR LESS THAN 3m FROM ANOTHER BUILDING.

SERVICE PENETRATIONS THROUGH FIRE RATED WALLS MUST NOT COMPROMISE THE FRL OF THE WALL OR FLOOR. COMPLIANCE MECHANISMS SHALL INCLUDE THE PROTECTION OF PENETRATIONS WITH FIRE COLLARS, FIRE RATED PUTTY, FIRE DAMPERS AND THE LIKE OR PROVISION FOR SERVICES SHAFTS.

UNIT AREAS EXCLUDING PATIO & PORCH

UNIT 1	92.34 m²
UNIT 2	55.13 m²
UNIT 3	55.13 m²
UNIT 4	92.44 m²






GROUND FLOOR

LAYOUT PLAN

1 : 200



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A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B	ON PLAN: DP 359444	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS	ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	<div><div>Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726</div><div>Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au</div></div> <div><div><div>SUNSHINE COAST BRISBANE BUILDING DESIGN INTERIOR DESIGN DESIGN MANAGEMENT</div></div><div><div>Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional</div><div>www.brdg.com.au ABN: 60 131 465 891 QBCC 1160837 Brad Read Design Group Pty Ltd</div></div></div>	© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD	PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE OVERALL LAYOUT PLAN	<div></div> <div>DATE JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD102</div>	<div></div> <div>DRAWN CO CHECKED REVISION A</div>	
				BUILDING INFORMATION									
				CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO									

KEYNOTE LEGEND

BAL	BALUSTRADE
BT	BENCH TOP
BTE	ADJUSTABLE BENCHTOP, ELECTRIC
CL	CLOTHESLINE
CONC	CONCRETE
CT	COOK TOP
DT	DOOR THRESHOLD
DW	DISHWASHER
FEN	FENCE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE
GD	GRATED DRAIN
HB1	HAND BASIN TYPE 1
HB2	HAND BASIN TYPE 2
HR	HAND RAIL
OV	OVEN
PTY	PANTRY
REF	REFRIGERATOR
RF1	RESILIENT FINISH TYPE 1
RH	RANGEHOOD
SFL	STRUCTURAL FLOOR LEVEL
SHR1	SHOWER TYPE 1
SHR2	SHOWER TYPE 2
SHS	STEEL POST
SK1	SINK TYPE 1
SK2	SINK TYPE 2
STR	STORE
TL1	TILE TYPE 1
TM	TIMBER
TRH	TOILET ROLL HOLDER
WC1	WATER CLOSET TYPE 1
WC2	WATER CLOSET TYPE 2
WM	WASHING MACHINE

FLOOR PLAN NOTES

FLOOR FINISHES TO EXTEND UNDER CABINETRY.

ALL FLOOR FINISHES TO BE SLIP RESISTANT.

PROVIDE ADDITIONAL STUD FRAMING/NOGGINGS TO WALLS WITH TELEVISIONS, OVERHEADS CUPBOARD & GRAB RAILS.

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FLOOR PLAN NOTES

-  ADJACENT LEVELS TO BE EQUAL LEVEL - NO STEP
-  LANDSCAPING

AREA SCHEDULE

CARPORT	40.87 m²
COMMON AREA	16.76 m²
STORE	4.40 m²
UNIT 1	81.55 m²
UNIT 1 OOA	10.79 m²
UNIT 1 PORCH	12.23 m²
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UNIT 3 PORCH	9.75 m²
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UNIT 4 OOA	11.46 m²
UNIT 4 PORCH	11.96 m²
TOTAL	400.77 m²

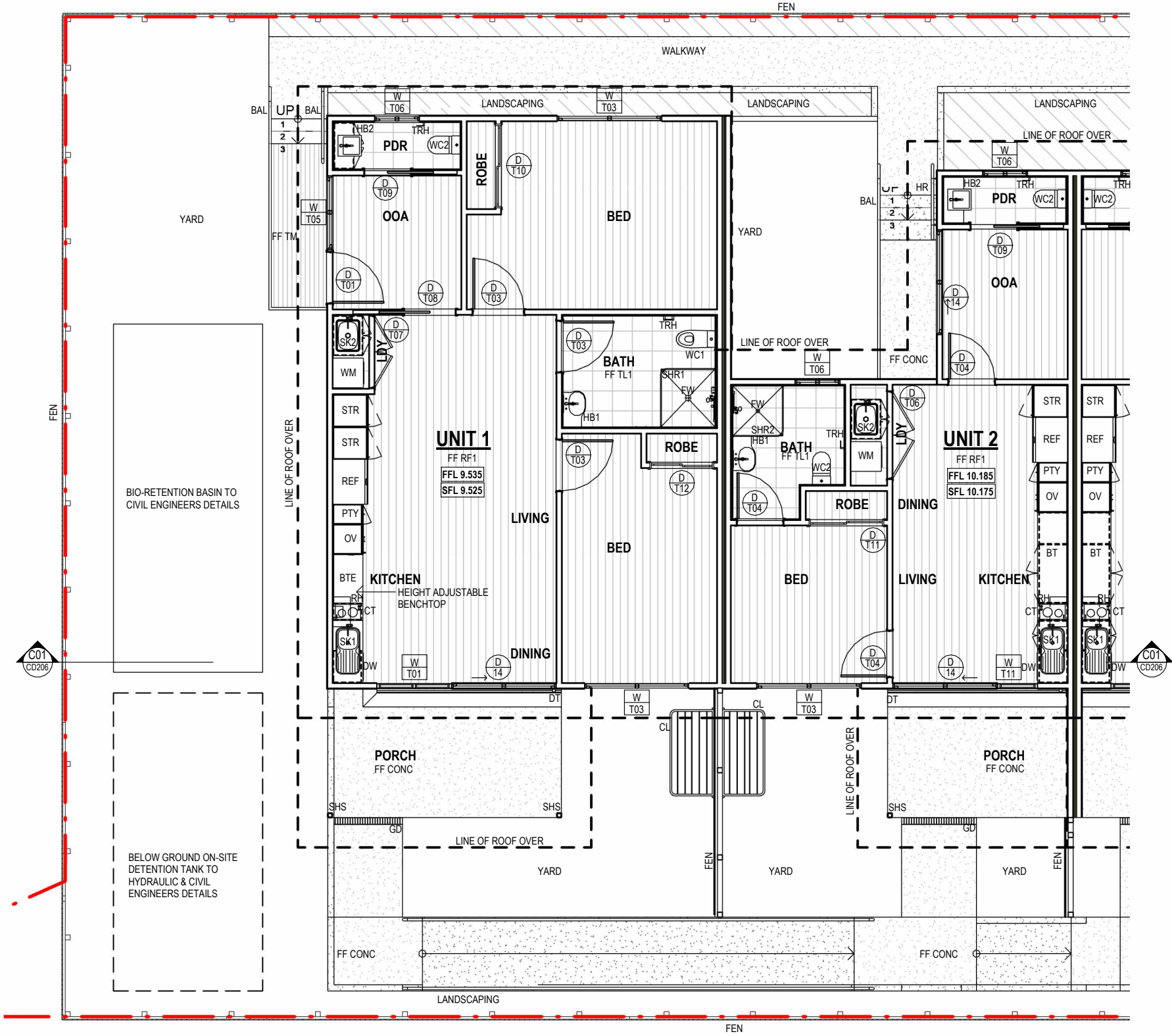
FIRE RATED WALLS

EXTERNAL WALLS REQUIRE AN FRL OF 90/90/90 WHERE LOCATED LESS THAN 1.5m FROM THE ALLOTMENT BOUNDARY OR LESS THAN 3m FROM ANOTHER BUILDING.

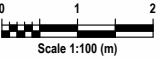
SERVICE PENETRATIONS THROUGH FIRE RATED WALLS MUST NOT COMPROMISE THE FRL OF THE WALL OR FLOOR. COMPLIANCE MECHANISMS SHALL INCLUDE THE PROTECTION OF PENETRATIONS WITH FIRE COLLARS, FIRE RATED PUTTY, FIRE DAMPERS AND THE LIKE OR PROVISION FOR SERVICES SHAFTS.




UNIT AREAS EXCLUDING PATIO & PORCH

UNIT 1	92.34 m²
UNIT 2	55.13 m²
UNIT 3	55.13 m²
UNIT 4	92.44 m²



01 LAYOUT PLAN
1 : 100



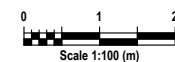
ISSUE DESCRIPTION		DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		PROJECT		NDIS HOUSING		DATE		DRAWN	
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B AREA: 1109.04	ON PLAN: DP 359444 LOCALITY: TAREE	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS	ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS	Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726		© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of:	PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE LAYOUT PLAN	DATE JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD103 REVISION A		CO CHECKED	
				BUILDING INFORMATION		DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR	REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au		BRAD READ DESIGN GROUP PTY LTD					
				CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO				Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional www.brdg.com.au ABN 60 131 465 891 OBC 1168937 Brad Read Design Group Pty Ltd							

REFER TO CD 103 FOR NOTES AND
LEGENDS RELEVANT TO THIS PLAN.

UNIT 1	92.34 m ²
UNIT 2	55.13 m ²
UNIT 3	55.13 m ²
UNIT 4	92.44 m ²

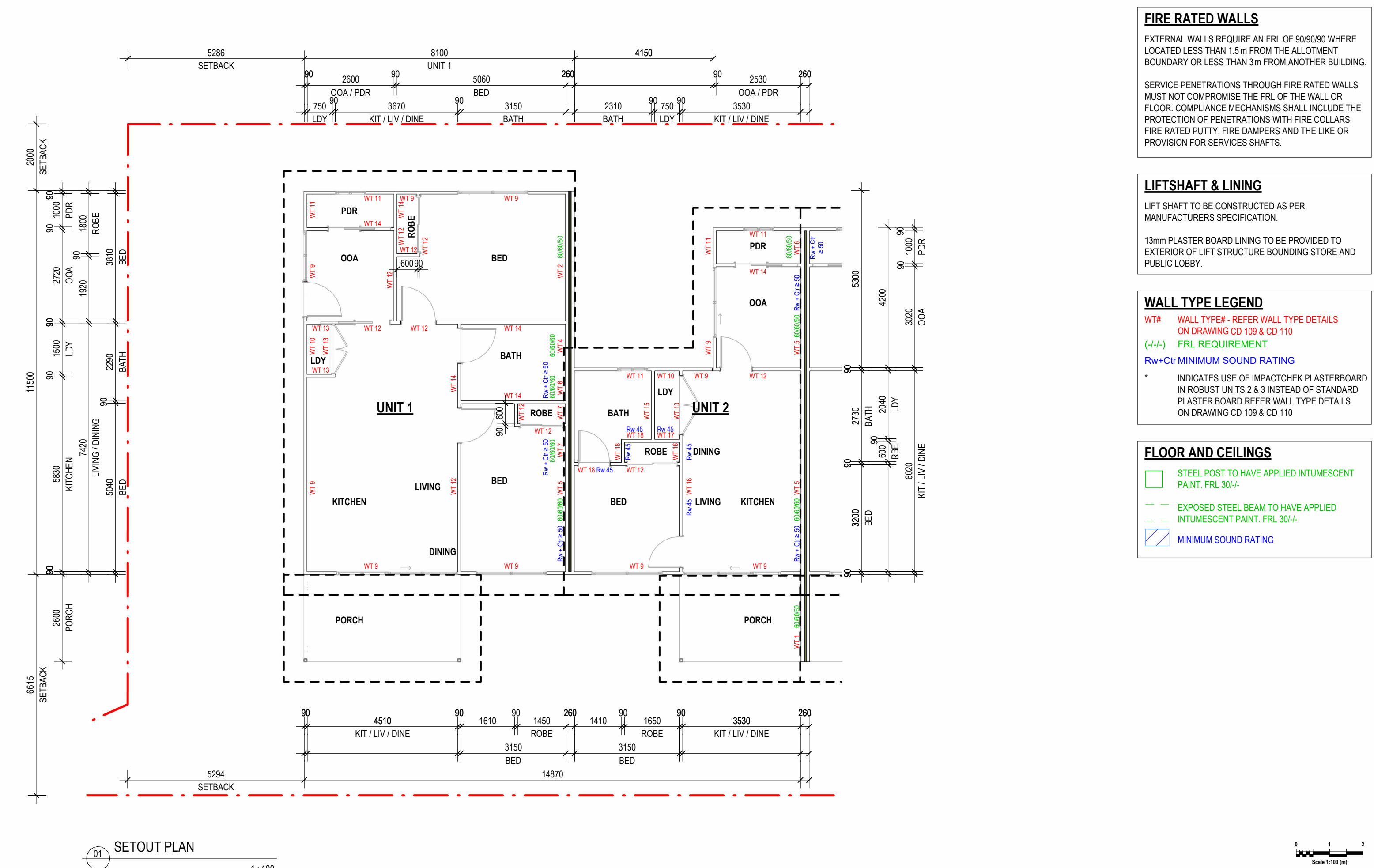
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UNIT 2 PORCH	9.75 m ²
UNIT 3	43.46 m ²
UNIT 3 OOA	11.67 m ²
UNIT 3 PORCH	9.75 m ²
UNIT 4	80.98 m ²
UNIT 4 OOA	11.46 m ²
UNIT 4 PORCH	11.96 m ²
TOTAL	400.77 m ²

B1	BOLLARD TYPE 1
BAL	BALUSTRADE
BIN	BIN
BT	BENCH TOP
BTE	ADJUSTABLE BENCHTOP, ELECTRIC
CL	CLOTHESLINE
CONC	CONCRETE
CT	COOK TOP
DT	DOOR THRESHOLD
DW	DISHWASHER
FEN	FENCE
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE
GD	GRATED DRAIN
HB1	HAND BASIN TYPE 1
HB2	HAND BASIN TYPE 2
HR	HAND RAIL
MB	MAIL BOXES
MT	MIXER TAP
OV	OVEN
PTY	PANTRY
REF	REFRIGERATOR
RF1	RESILIENT FINISH TYPE 1
RH	RANGEHOOD
SCR	SCREEN
SFL	STRUCTURAL FLOOR LEVEL
SHR1	SHOWER TYPE 1
SHR2	SHOWER TYPE 2
SHS	STEEL POST
SK1	SINK TYPE 1
SK2	SINK TYPE 2
STR	STORE
TL1	TILE TYPE 1
TRH	TOILET ROLL HOLDER
WC1	WATER CLOSET TYPE 1
WC2	WATER CLOSET TYPE 2
WM	WASHING MACHINE



1 : 100

ISSUE		DESCRIPTION	DRAWN	DATE
A	COUNCIL DA ISSUE			13.02.2025
<div><div><div>SITE INFORMATION LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE</div><div>BUILDING INFORMATION CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO</div></div><div><div>GENERAL NOTES CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS</div><div><div>Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 – Tenancy T2-411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional</div><div><div>brdg GROUP SUNSHINE COAST BRISBANE BUILDING DESIGN INTERIOR DESIGN DESIGN MANAGEMENT</div><div>© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD</div><div><div>PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE LAYOUT PLAN</div><div><div>DATE JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD104</div><div><div>DRAWN CO CHECKED REVISION A</div></div></div></div></div></div></div></div>				



FIRE RATED WALLS

EXTERNAL WALLS REQUIRE AN FRL OF 90/90/90 WHERE LOCATED LESS THAN 1.5 m FROM THE ALLOTMENT BOUNDARY OR LESS THAN 3m FROM ANOTHER BUILDING.

SERVICE PENETRATIONS THROUGH FIRE RATED WALLS MUST NOT COMPROMISE THE FRL OF THE WALL OR FLOOR. COMPLIANCE MECHANISMS SHALL INCLUDE THE PROTECTION OF PENETRATIONS WITH FIRE COLLARS, FIRE RATED PUTTY, FIRE DAMPERS AND THE LIKE OR PROVISION FOR SERVICES SHAFTS.

LIFTSHAFT & LINING

LIFT SHAFT TO BE CONSTRUCTED AS PER MANUFACTURERS SPECIFICATION.

13mm PLASTER BOARD LINING TO BE PROVIDED TO EXTERIOR OF LIFT STRUCTURE BOUNDING STORE AND PUBLIC LOBBY.

WALL TYPE LEGEND

WT# WALL TYPE# - REFER WALL TYPE DETAILS ON DRAWING CD 109 & CD 110

(-/-/-) FRL REQUIREMENT

Rw+Ctr MINIMUM SOUND RATING

* INDICATES USE OF IMPACTCHEK PLASTERBOARD IN ROBUST UNITS 2 & 3 INSTEAD OF STANDARD PLASTER BOARD REFER WALL TYPE DETAILS ON DRAWING CD 109 & CD 110

FLOOR AND CEILINGS

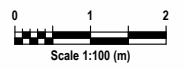
STEEL POST TO HAVE APPLIED INTUMESCENT PAINT. FRL 30/-/-

EXPOSED STEEL BEAM TO HAVE APPLIED INTUMESCENT PAINT. FRL 30/-/-

MINIMUM SOUND RATING

01 SETOUT PLAN

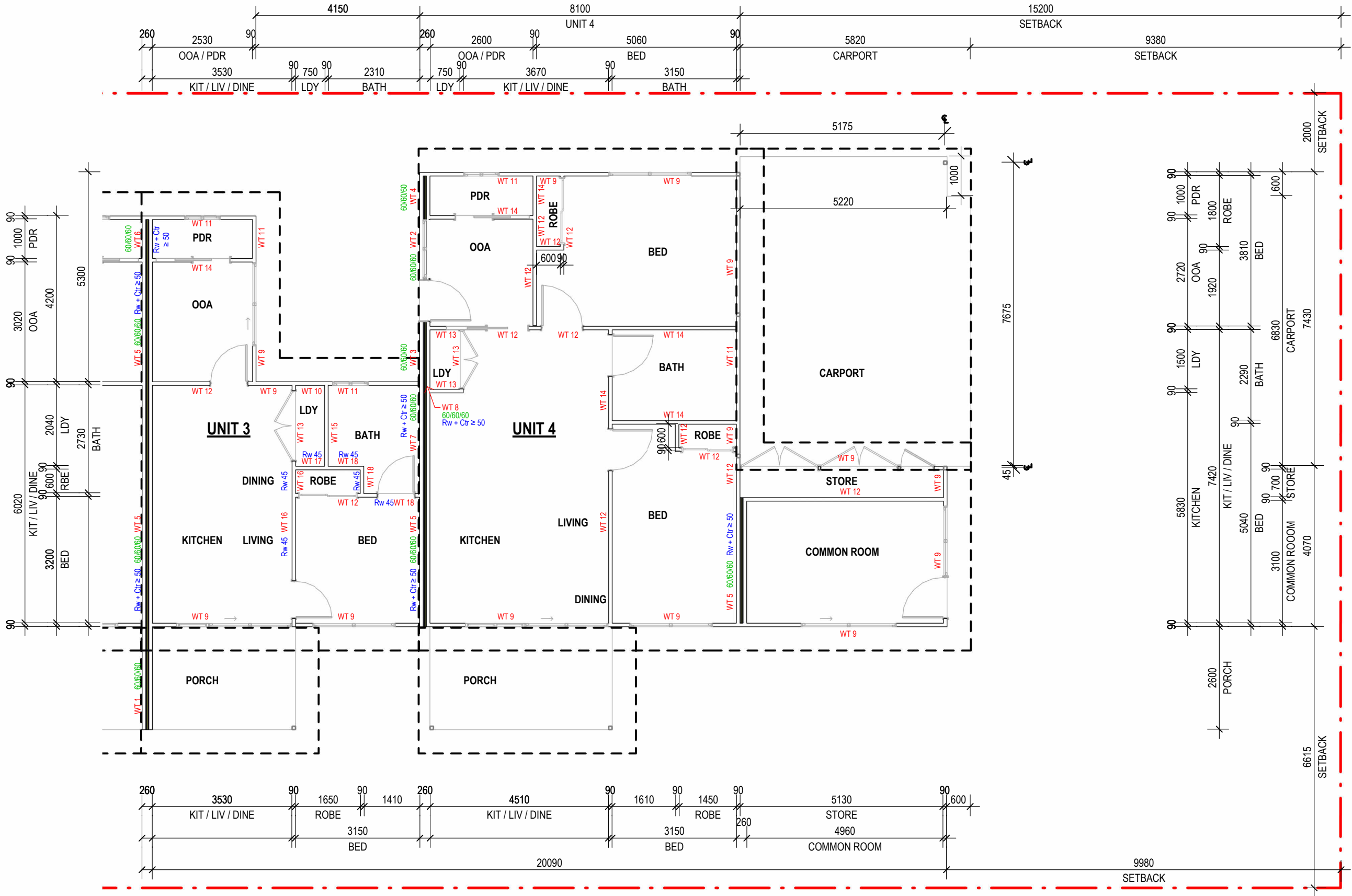
1 : 100



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A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B	ON PLAN: DP 359444	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS		Kon-Tiki Business Centre		NDIS HOUSING		JUNE 2023		CO	
				AREA: 1109.04	LOCALITY: TAREE	ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS		Tower 2, Level 4 - Tenancy T2.411		LOCATION		SCALE		CHECKED	
				BUILDING INFORMATION		DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR		55 Plaza Parade		10 RICHARDSON STREET, TAREE, NSW		A3: 1:100			
				CONSTRUCTION TYPE: C		REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS		Maroochydhore QLD 4558		CLIENT		DRAWING NO.		REVISION	
				BUILDING CLASSIFICATION: 3				T: +61 7 5443 3726		ARCHWELL CONSTRUCTION		2280 - CD107		A	
				SDA CATEGORY: HPS & RO						TITLE					
				SDA LAYOUT: HPS & RO						SETOUT / WALL TYPE PLAN					

NOTE:

REFER TO CD 107 FOR NOTES AND LEGENDS RELEVANT TO THIS PLAN.



01 SETOUT PLAN

1 : 100



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION	GENERAL NOTES	Sunshine Coast	BRD GROUP	© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD	PROJECT	DATE	DRAWN
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	Kon-Tiki Business Centre Tower 2 Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726			NDIS HOUSING	JUNE 2023	CO
				BUILDING INFORMATION		Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au			10 RICHARDSON STREET, TAREE, NSW	SCALE	CHECKED
				CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO					CLIENT	A3: 1:100	
									ARCHWELL CONSTRUCTION	DRAWING NO.	REVISION
									TITLE	2280 - CD108	A
									SETOUT / WALL TYPE PLAN		

ALL ROOFWATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH BCA PART 3.1.2, DRAINAGE AND AS/NZS3500;

GUTTERS AND DOWNPIPES MUST BE SELECTED FROM
BCA TABLE 3.5.2.2 OR FROM AS/NZS3500;

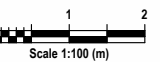
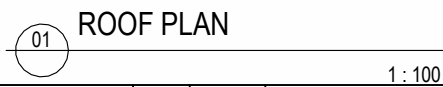
BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100, IN ACCORDANCE WITH AS/NZS3500.3;



THE WIDTH OF VALLEY GUTTERS SHALL BE IN ACCORDANCE WITH AS/NZS3500.3 AND BCA PART 3.5.2.

DOWNPIPES MUST NOT SERVE MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS.

KEYNOTE LEGEND

BC	BARGE CAPPING
EG	EAVES GUTTER
RS	ROOF SHEETING



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au		PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE ROOF PLAN		DATE JUNE 2023 CO SCALE A3: 1:100 DRAWING NO. 2280 - CD115		DRAWN CO CHECKED REVISION A	
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE		CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS		 SUNSHINE COAST GROUP BRIDG BUILDING DESIGN INTERIOR DESIGN DESIGN MANAGEMENT www.brdg.com.au ABRN 601 311 465 891 QBCC 11608937		 © This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD					

ALL ROOFWATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH BCA PART 3.1.2, DRAINAGE AND AS/NZS3500;

GUTTERS AND DOWNPIPES MUST BE SELECTED FROM
BCA TABLE 3.5.2.2 OR FROM AS/NZS3500;

BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100, IN ACCORDANCE WITH AS/NZS3500.3;

THE WIDTH OF VALLEY GUTTERS SHALL BE IN ACCORDANCE WITH AS/NZS3500.3 AND BCA PART 3.5.2.

DOWNPIPES MUST NOT SERVE MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS.

BC	BARGE CAPPING
EG	EAVES GUTTER
RS	ROOF SHEETING



ISSUE	DESCRIPTION	DRAWN	DATE
A	COUNCIL DA ISSUE		13.02.2025

SITE INFORMATION

LOT: 24 B ON PLAN: DP 359444
 AREA: 1109.04 LOCALITY: TAREE

BUILDING INFORMATION

CONSTRUCTION TYPE: C
 BUILDING CLASSIFICATION: 3
 SDA CATEGORY: HPS & RO
 SDA LAYOUT: HPS & RO

GENERAL NOTES

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS


ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR

REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS

Sunshine Coast
 Kom-Tai Business Centre
 Tower 2, Level 4 - Tenancy T2.411
 55 Plaza Parade
 Maroochydore QLD 4558
 T: +61 7 5443 3726

Brisbane
 Office 3, 36 Bryants Road
 Loganholme QLD 4129
 T: +61 7 3806 1855
 E: admin@brdg.com.au

www.brdg.com.au ABN: 60 131 465 891 QBCC 1160937



SUNSHINE COAST
BRISBANE
BUILDING DESIGN
INTERIOR DESIGN
DESIGN MANAGEMENT

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BRAD READ DESIGN GROUP PTY LTD

PROJECT
NDIS HOUSING

LOCATION
10 RICHARDSON STREET, TAREE, NSW

CLIENT
ARCHWELL CONSTRUCTION

TITLE
ROOF PLAN



DRAWN
CO

CHECKED

A3: 1:100

DRAWING NO.
2280 - CD116

REVISION
A

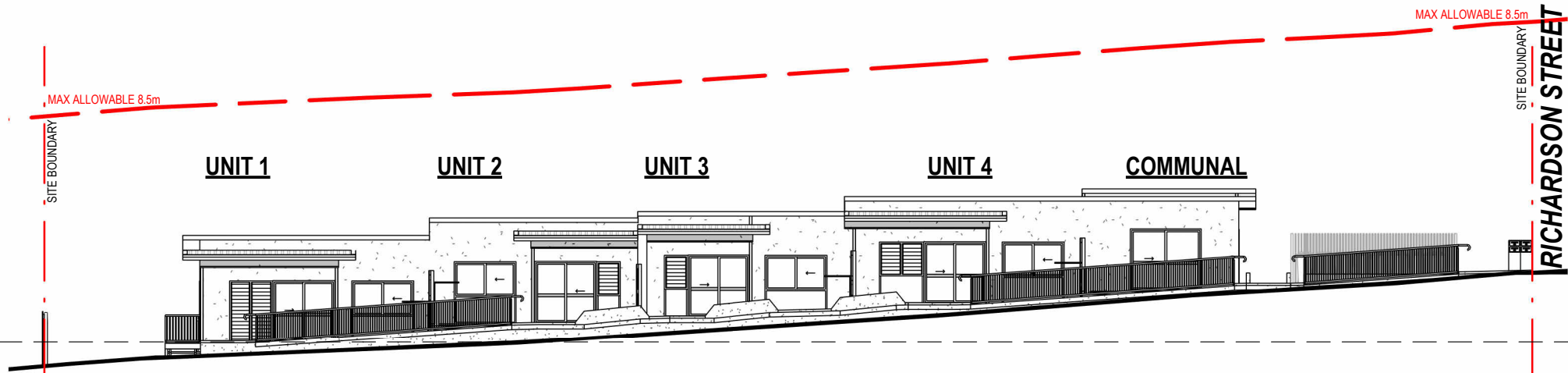
ELEVATION NOTES

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR APPROVED EQUAL. ANY SUBSTITUTIONS TO BE CONFIRMED BY DESIGNER.

ALL ELEVATION AND SECTION DRAWINGS TO BE READ IN CONJUNCTION WITH DOOR AND WINDOW SCHEDULES.

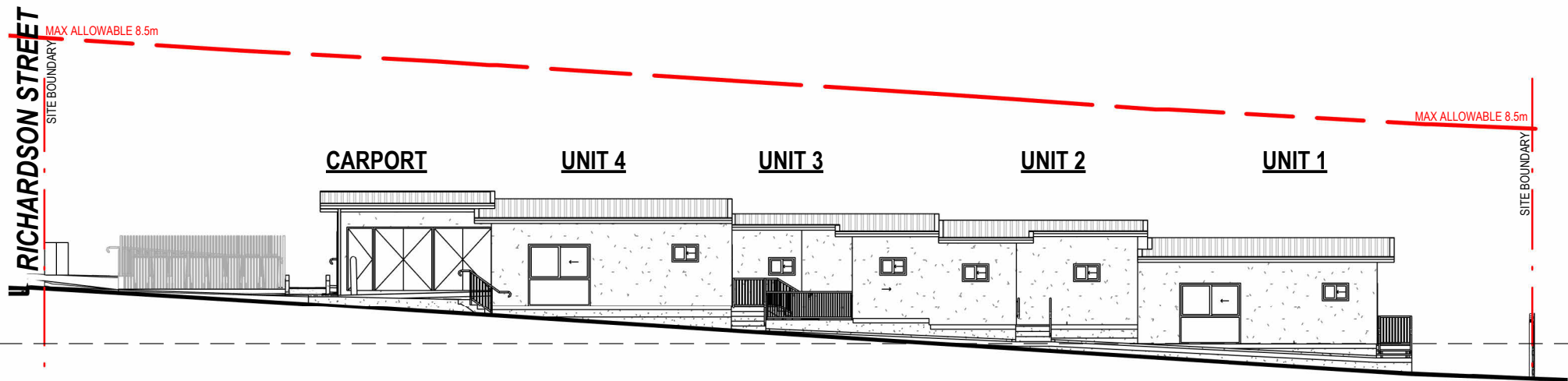
External Materials and Colours:

External Materials and Colours:
Roof - Colorbond Steel, Surfmist
Walls - FC Cladding/Weatherboard - Dulux Domino (Dark Grey) and White



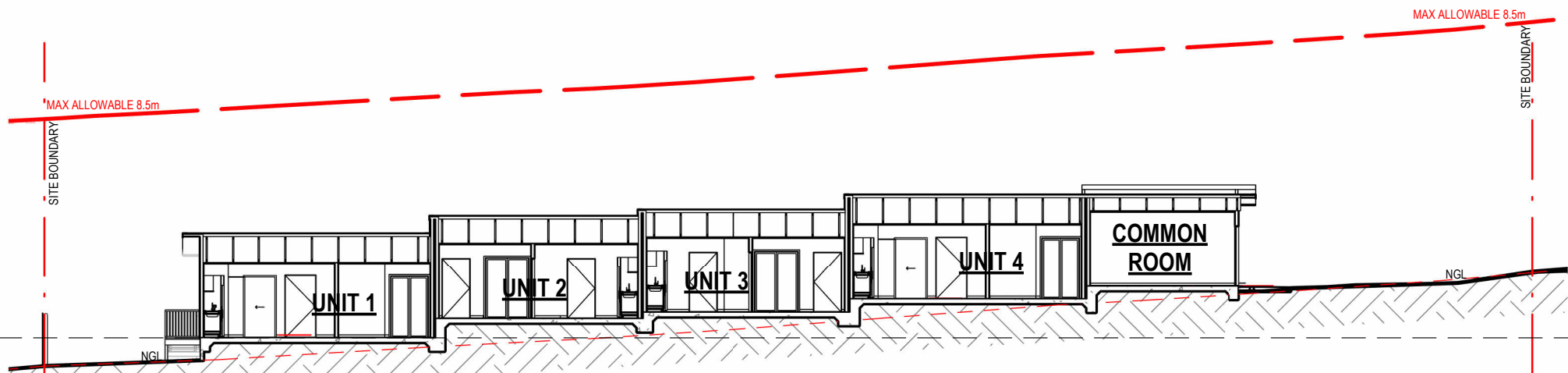
01 NORTH EAST ELEVATION OVERALL

1 : 200




02 SOUTH WEST ELEVATION OVERALL

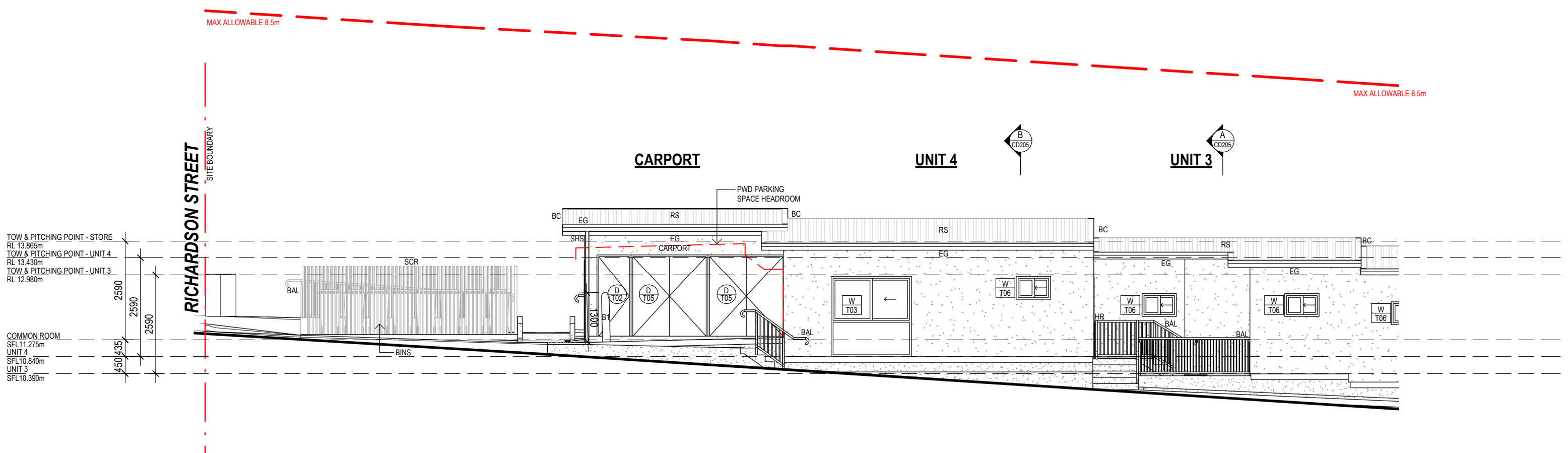
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C SECTION C OVERALL

1 : 200

ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		<div><div>Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726</div><div>Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au</div><div>Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional</div><div>www.brdg.com.au</div></div>	PROJECT		DATE	DRAWN	
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS	© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of:	NDIS HOUSING		JUNE 2023	CO			
				BUILDING INFORMATION		ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS		LOCATION		SCALE		CHECKED	
				CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO		DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR		10 RICHARDSON STREET, TAREE, NSW	CLIENT		A3: 1:100		REVISION
						REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS		ARCHWELL CONSTRUCTION		DRAWING NO.		OVERALL ELEVATIONS	
								TITLE		2280 - CD201		A	
								BRAD READ DESIGN GROUP PTY LTD					



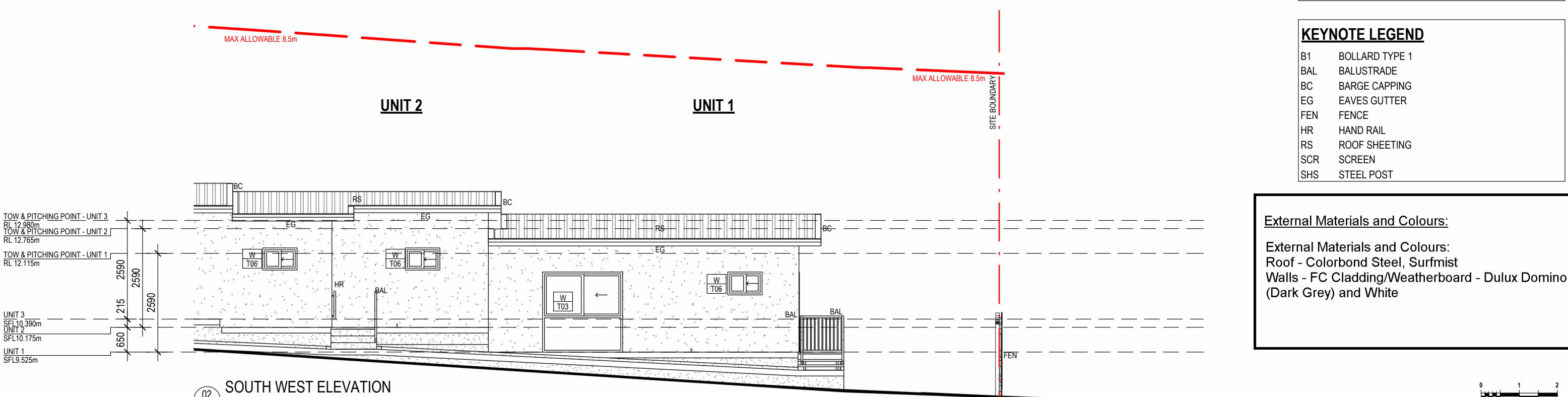
01 SOUTH WEST ELEVATION

1 : 100

ELEVATION NOTES

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR APPROVED EQUAL. ANY SUBSTITUTIONS TO BE CONFIRMED BY DESIGNER.

ALL ELEVATION AND SECTION DRAWINGS TO BE READ IN CONJUNCTION WITH DOOR AND WINDOW SCHEDULES.



02 SOUTH WEST ELEVATION

1 : 100

KEYNOTE LEGEND

- B1 BOLLARD TYPE 1
- BAL BALUSTRADE
- BC BARGE CAPPING
- EG EAVES GUTTER
- FEN FENCE
- HR HAND RAIL
- RS ROOF SHEETING
- SCR SCREEN
- SHS STEEL POST

External Materials and Colours:

External Materials and Colours:
Roof - Colorbond Steel, Surfmist
Walls - FC Cladding/Weatherboard - Dulux Domino (Dark Grey) and White



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION	GENERAL NOTES	Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au www.brdg.com.au	BRAD READ DESIGN GROUP PTY LTD	PROJECT NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE ELEVATIONS	DATE JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD202	DRAWN CO CHECKED REVISION A
A	COUNCIL DA ISSUE		13.02.2025	BUILDING INFORMATION CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional www.brdg.com.au				

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR
APPROVED EQUAL. ANY SUBSTITUTIONS TO BE
CONFIRMED BY DESIGNER.

KEYNOTE LEGEND

TOW & PITCHING POINT - UNIT 3
RL 12.980m
TOW & PITCHING POINT - UNIT 2
RL 12.765m
TOW & PITCHING POINT - UNIT 1
RL 12.115m

UNIT 3	
SFL10.390m	
UNIT 2	
SFL10.175m	
UNIT 1	
SFL9.525m	

1 : 100


MAX ALLOWABLE 8.5m

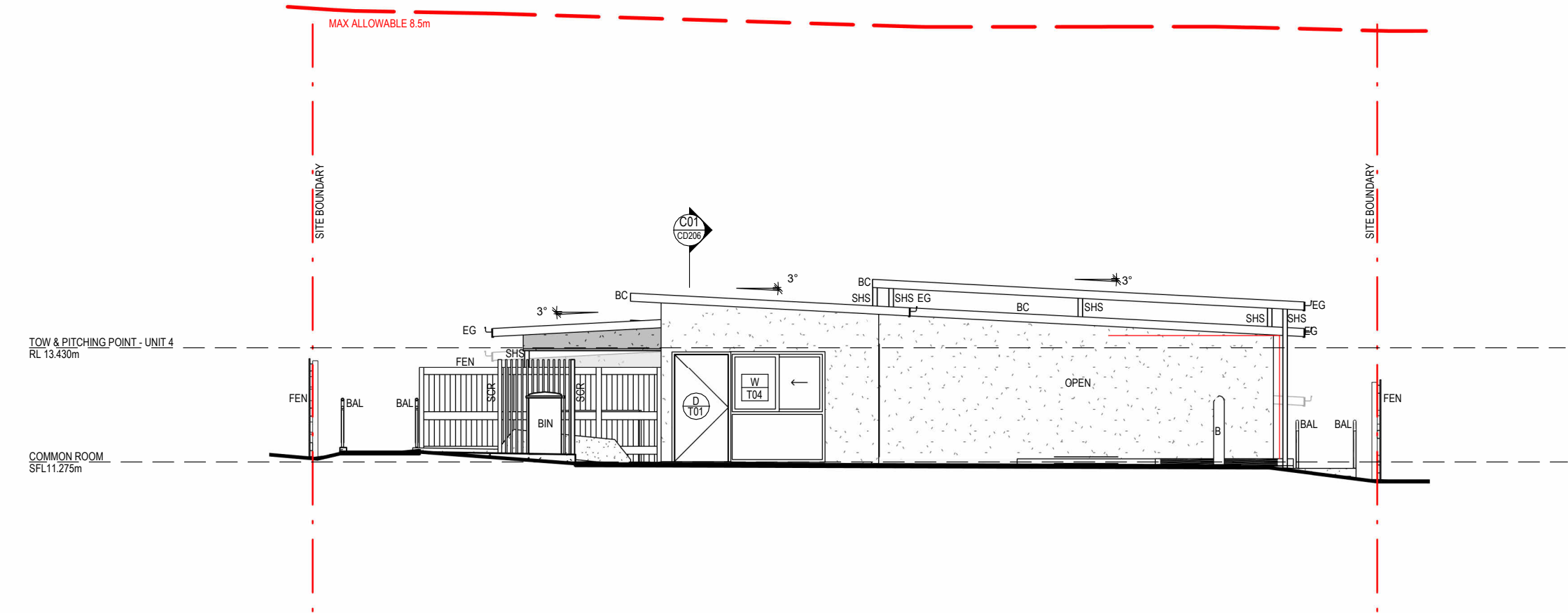
MB

RICHARDSON STREET

SITE BOUNDARY

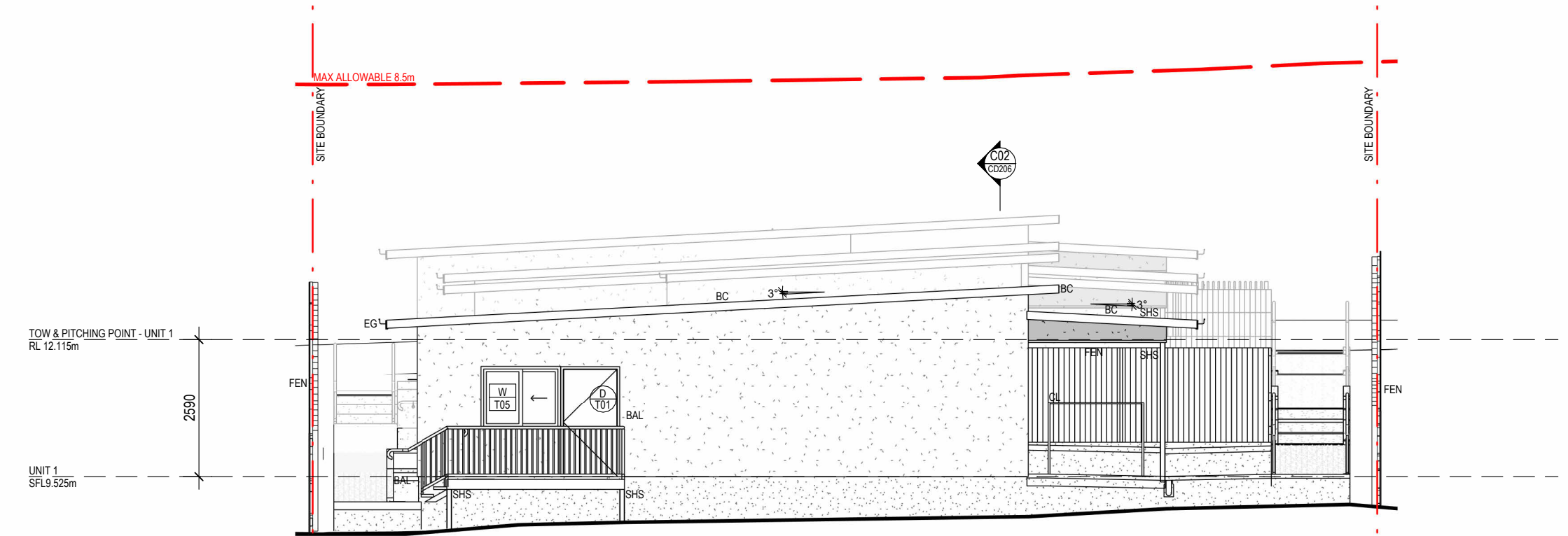
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ISSUE	DESCRIPTION	DRAWN	DATE	<div> <div> <div>SITE INFORMATION</div> <div> <div>LOT: 24 B</div> <div>ON PLAN: DP 359444</div> </div> <div> <div>AREA: 1109.04</div> <div>LOCALITY: TAREE</div> </div> </div> <div> <div>BUILDING INFORMATION</div> <div> <div>CONSTRUCTION TYPE: C</div> <div>BUILDING CLASSIFICATION: 3</div> <div>SDA CATEGORY: HPS & RO</div> <div>SDA LAYOUT: HPS & RO</div> </div> </div> </div>		<div> <div>GENERAL NOTES</div> <div> <div>CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS</div> <div>ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS</div> <div>DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR</div> <div>REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS</div> </div> </div>		<div> <div> <div> <div>Sunshine Coast</div> <div>Kon-Tiki Business Centre</div> <div>Tower 2, Level 4 - Tenancy T2.411</div> <div>55 Plaza Parade</div> <div>Maroochydore QLD 4558</div> <div>T: +61 7 5443 3726</div> </div> <div> <div>Brisbane</div> <div>Office 3, 36 Bryants Road</div> <div>Loganholme QLD 4129</div> <div>T: +61 7 3806 1855</div> <div>E: admin@brdg.com.au</div> </div> </div> <div>  </div> <div> <div>Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional</div> <div>www.brdg.com.au</div> </div> </div>		<div> <div>© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of:</div> <div>BRAD READ DESIGN GROUP PTY LTD</div> </div>		<div> <div>PROJECT</div> <div>NDIS HOUSING</div> <div>LOCATION</div> <div>10 RICHARDSON STREET, TAREE, NSW</div> <div>CLIENT</div> <div>ARCHWELL CONSTRUCTION</div> <div>TITLE</div> <div>ELEVATIONS</div> </div>		<div> <div>DATE</div> <div>JUNE 2023</div> <div>SCALE</div> <div>A3: 1:100</div> <div>DRAWING NO.</div> <div>2280 - CD203</div> </div> <div> <div>DRAWN</div> <div>CO</div> <div>CHECKED</div> <div>REVISION</div> <div>A</div> </div>	
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01 NORTH WEST ELEVATION

1 : 100



02 SOUTH EAST ELEVATION

1 : 100



ELEVATION NOTES

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR APPROVED EQUAL. ANY SUBSTITUTIONS TO BE CONFIRMED BY DESIGNER.

ALL ELEVATION AND SECTION DRAWINGS TO BE READ IN CONJUNCTION WITH DOOR AND WINDOW SCHEDULES.

KEYNOTE LEGEND

B	BOLLARD
BAL	BALUSTRADE
BC	BARGE CAPPING
BIN	BIN
CL	CLOTHESLINE
EG	EAVES GUTTER
FEN	FENCE
SCR	SCREEN
SHS	STEEL POST

ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION	GENERAL NOTES	BRAD READ DESIGN GROUP	PROJECT	DATE	DRAWN
A	COUNCIL DA ISSUE		13.02.2025	SITE INFORMATION LOT: 24 B ON PLAN: DP 359444 AREA: 1109.04 LOCALITY: TAREE BUILDING INFORMATION CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO	GENERAL NOTES CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	Sunshine Coast Kon-Tiki Business Centre Tower 2 Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au www.brdg.com.au ABN 60 131 465 891 QCC 1160937 BRAD READ DESIGN GROUP PTY LTD	NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE ELEVATIONS	DATE JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD204	DRAWN CO CHECKED REVISION A

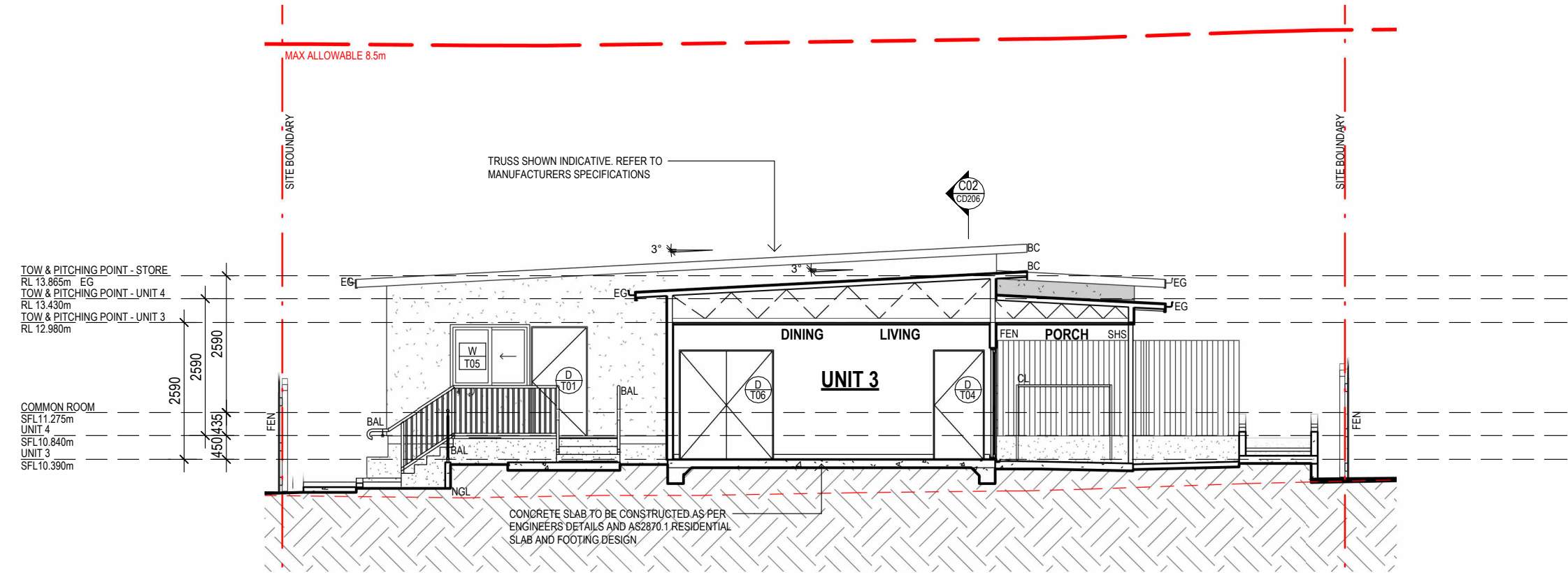
SECTION NOTES

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR APPROVED EQUAL. ANY SUBSTITUTIONS TO BE CONFIRMED BY DESIGNER.

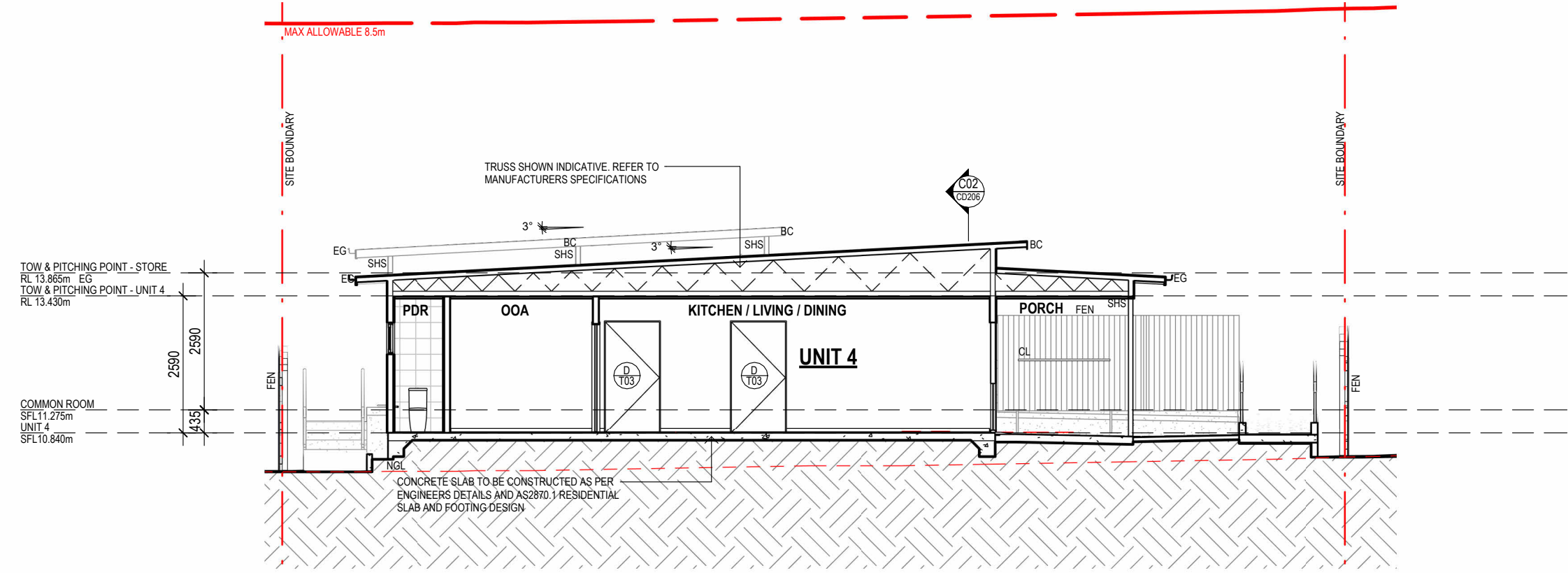
ALL ELEVATION AND SECTION DRAWINGS TO BE READ IN CONJUNCTION WITH DOOR AND WINDOW SCHEDULES.

KEYNOTE LEGEND

- BAL BALUSTRADE
BC BARGE CAPPING
CL CLOTHESLINE
EG EAVES GUTTER
FEN FENCE
SHS STEEL POST



A SECTION A
1 : 100



B SECTION B
1 : 100



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		PROJECT		DRAWN	
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B	ON PLAN: DP 359444	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR. REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	<div><div>Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726</div><div><div>brdg</div><div>SUNSHINE COAST BRISBANE BUILDING DESIGN INTERIOR DESIGN DESIGN MANAGEMENT</div></div><div>Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional www.brdg.com.au ABN 60 131 465 891 OBC 1166937 Brad Read Design Group Pty Ltd</div></div>	NDIS HOUSING		CO	
				AREA: 1109.04	LOCALITY: TAREE			LOCATION		CHECKED	
				BUILDING INFORMATION				10 RICHARDSON STREET, TAREE, NSW			
				CONSTRUCTION TYPE: C				CLIENT		A3: 1:100	
				BUILDING CLASSIFICATION: 3				ARCHWELL CONSTRUCTION		REVISION	
				SDA CATEGORY: HPS & RO				TITLE		2280 - CD205 A	
				SDA LAYOUT: HPS & RO				SECTIONS			

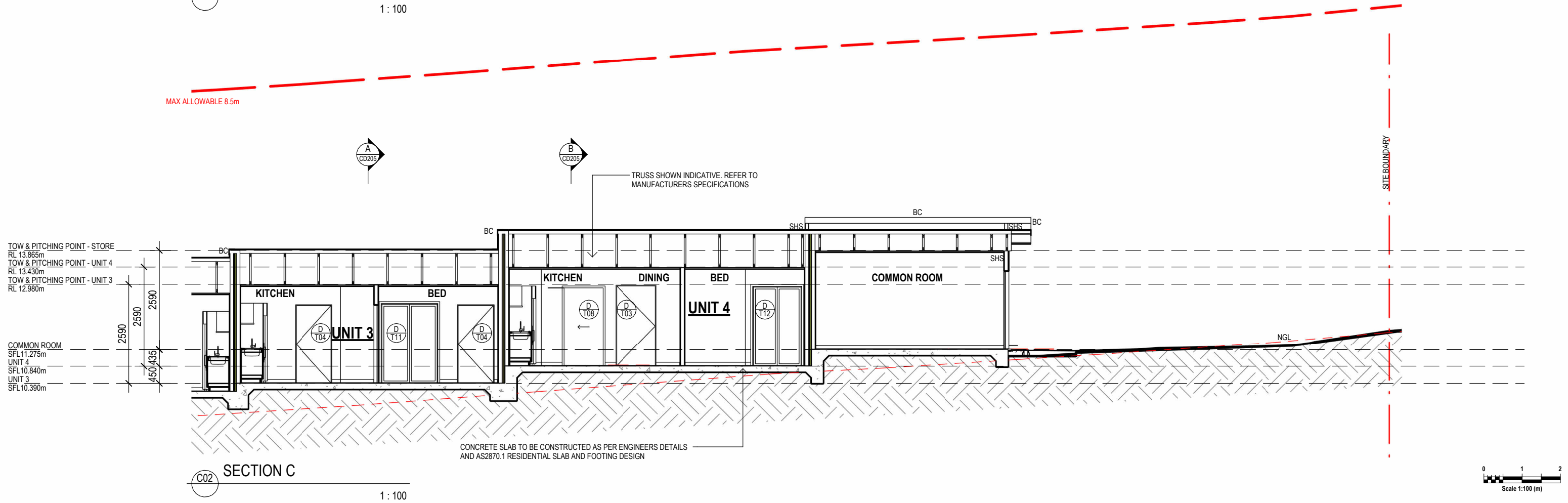
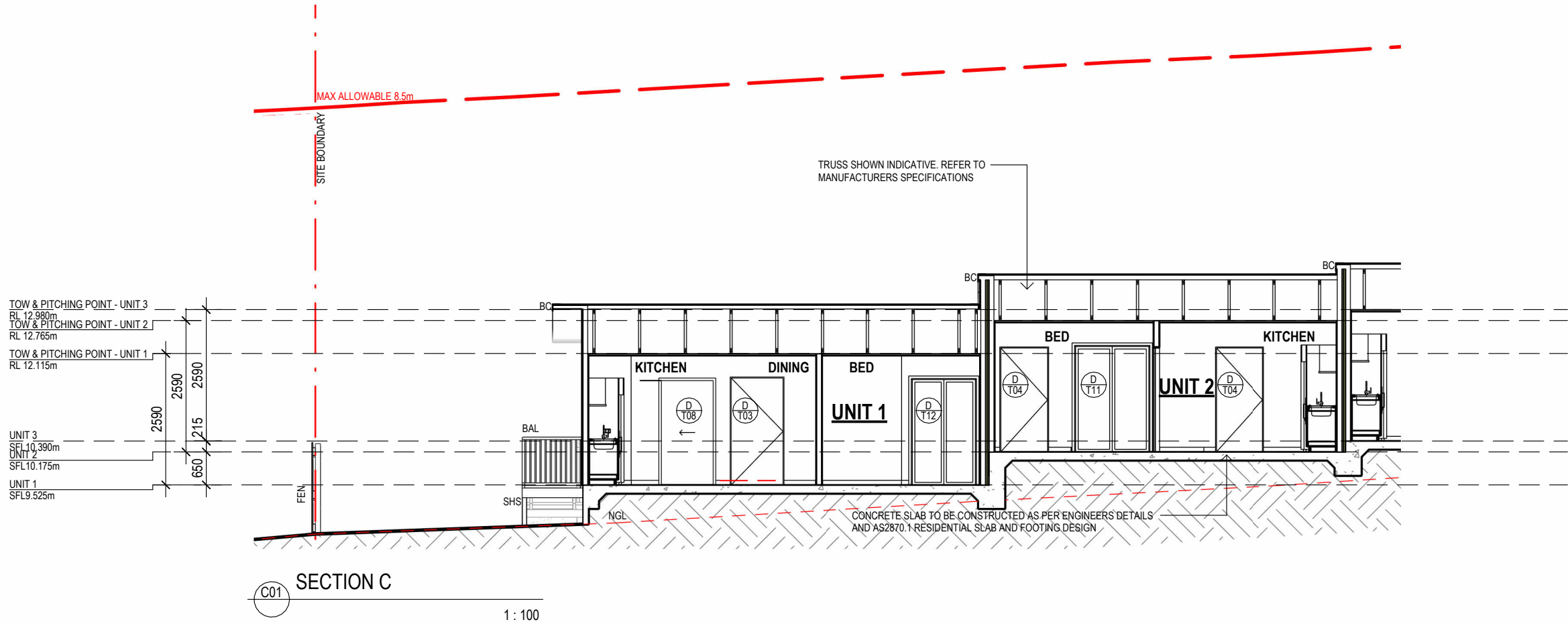
SECTION NOTES

ALL FINISHES SELECTIONS TO BE EQUIVALENT OR APPROVED EQUAL. ANY SUBSTITUTIONS TO BE CONFIRMED BY DESIGNER.

ALL ELEVATION AND SECTION DRAWINGS TO BE READ IN CONJUNCTION WITH DOOR AND WINDOW SCHEDULES.

KEYNOTE LEGEND

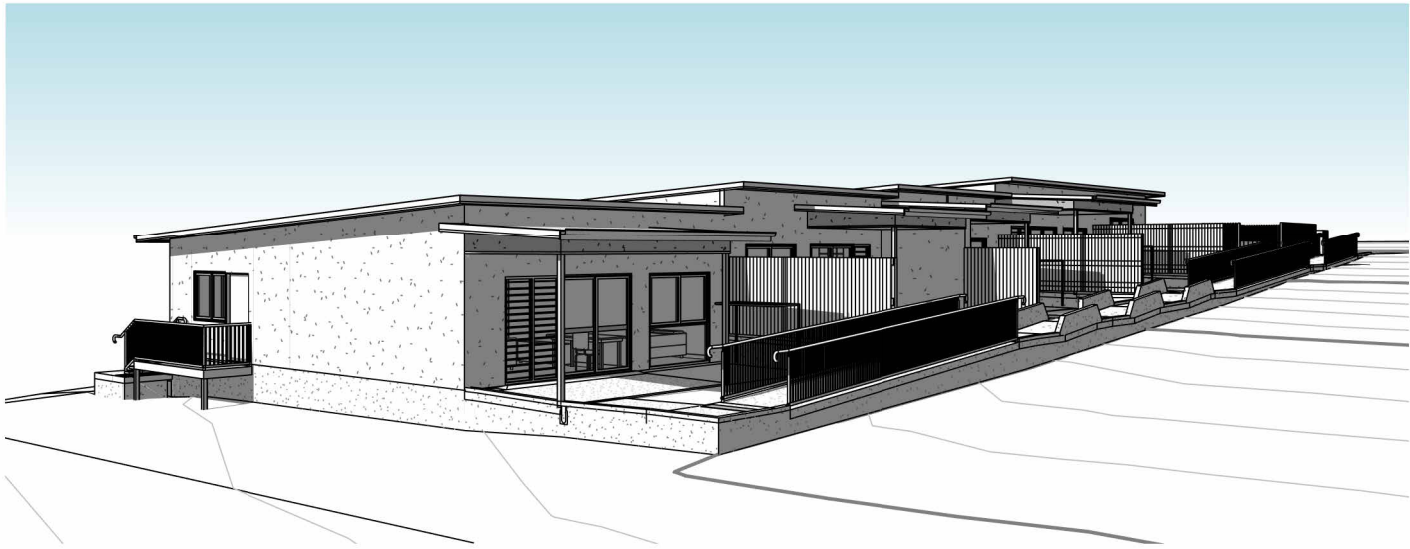
- BAL BALUSTRADE
BC BARGE CAPPING
FEN FENCE
SHS STEEL POST



ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION	GENERAL NOTES	PROJECT	DATE	DRAWN
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B AREA: 1109.04 ON PLAN: DP 359444 LOCALITY: TAREE	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS	NDIS HOUSING LOCATION 10 RICHARDSON STREET, TAREE, NSW CLIENT ARCHWELL CONSTRUCTION TITLE SECTIONS	JUNE 2023 SCALE A3: 1:100 DRAWING NO. 2280 - CD206	CO CHECKED REVISION A
				BUILDING INFORMATION CONSTRUCTION TYPE: C BUILDING CLASSIFICATION: 3 SDA CATEGORY: HPS & RO SDA LAYOUT: HPS & RO				
					Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au www.brdg.com.au ABN 60 131 465 891 QBC 1160937			
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					Intiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional			



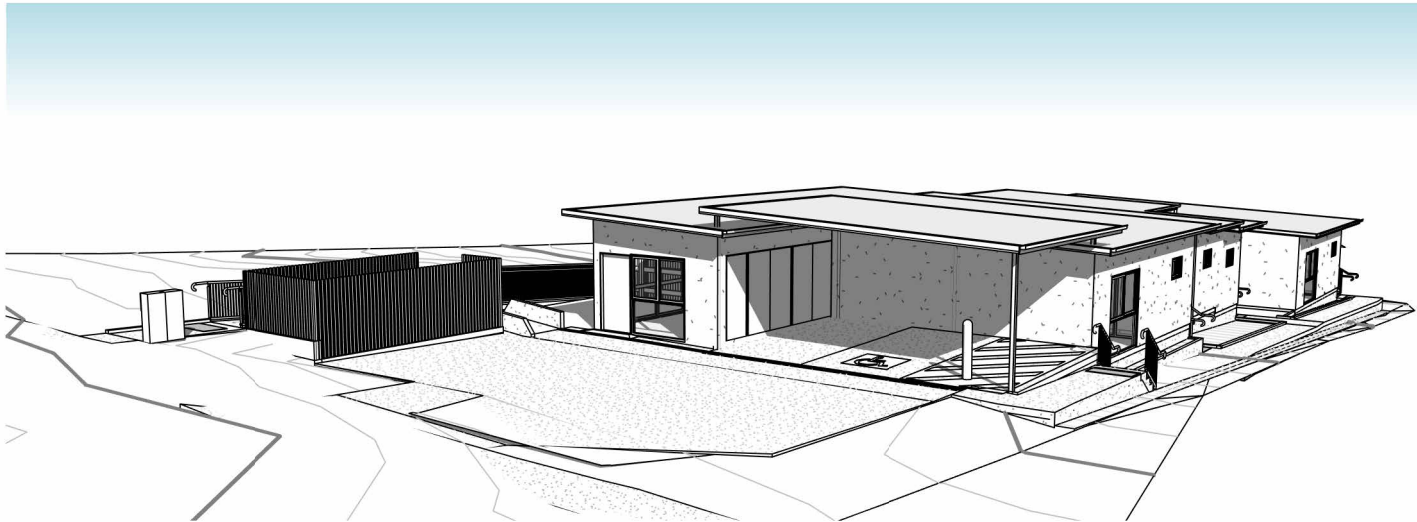
1 3D View 1



2 3D View 2


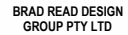


3 3D View 3



4 3D View 4

NOTE: BOUNDARY FENCING HIDDEN FOR CLARITY

ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION		GENERAL NOTES		Sunshine Coast		© This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of:		PROJECT		DATE		DRAWN	
A	COUNCIL DA ISSUE		13.02.2025	LOT: 24 B	ON PLAN: DP 359444	CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS		Kon-Tiki Business Centre				NDIS HOUSING		JUNE 2023		JM	
				AREA: 1109.04	LOCALITY: TAREE	ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS		55 Plaza Parade				10 RICHARDSON STREET, TAREE, NSW		SCALE		CHECKED	
				BUILDING INFORMATION		DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS. ALL DRAWINGS TO BE PRINTED IN FULL COLOUR		Maroochydrive QLD 4558				CLIENT		A3: NTS		REVISION	
				CONSTRUCTION TYPE: C		REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS		Loganholme QLD 4129				ARCHWELL CONSTRUCTION		DRAWING NO.		2280 - CD207	
				BUILDING CLASSIFICATION: 3				T: +61 7 5443 3726		BRAD READ DESIGN GROUP PTY LTD		TITLE				A	
				SDA CATEGORY: HPS & RO				E: admin@brdg.com.au				PERSPECTIVES					
				SDA LAYOUT: HPS & RO													